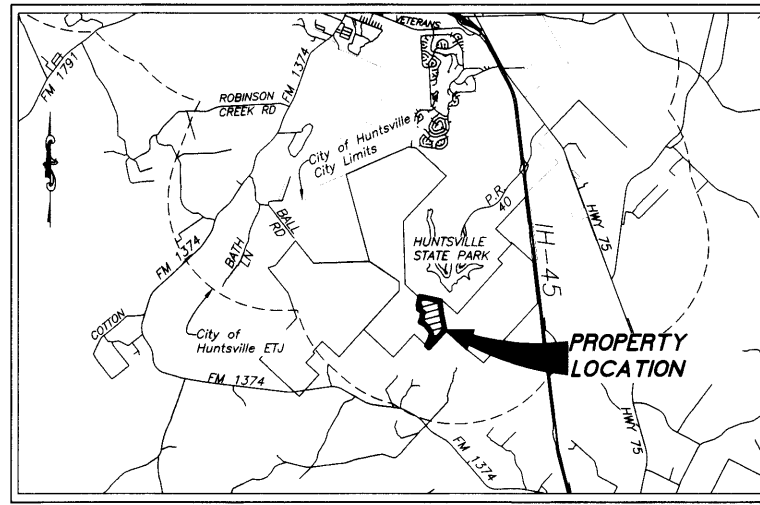


LEGEND

- DE Drainage Easement
- CCN Certificate of Convenience and Necessity
- ETJ Extraterritorial Jurisdiction Line
- Min. FF Minimum Finished Floor Elevation
- NTE Nature Trail Easement
- PUE Public Utility Easement
- WLE Waterline Easement
- WCDR Walker County Deed Records
- WCOPR Walker County Official Public Records
- WCPR Walker County Plat Records
- VMDE Variable Width Private Drainage Easement
- Set 5/8" Iron Rod w/cap marked "MICHAEL A. NAMKEN RPLS 6533", UNLESS otherwise noted
- 24 Block Number



VICINITY MAP
Not To Scale

GENERAL NOTES

1. The purpose of this plat is to create TEXAS GRAND RANCH SECTION 13 out of the residue of the called 3314.028 acre tract described in Vol. 1271, pg. 484, Walker County Official Public Records, and to dedicate the sixty (60) foot road rights-of-way with an adjacent twenty (20) foot Public Utility Easements (PUE) and the adjacent Drainage Easements (DE) as shown hereon to the public.
2. Bearings, Distances, Coordinates and Acreages hereon are Grid and referenced to the Texas State Plane Coordinate System, Central Zone, NAD 83 and based upon City of Huntsville Mapping Control Network Control Point Number 7262, having published coordinates of N=10,231,650.757 feet, E=3,802,783.195 feet, Elev.=312,999 feet and GPS Observations. Distances are U.S. Survey Feet and may be converted to geodetic horizontal (surface) by dividing by a Combined Scale factor of 0.99988. Please review the record instruments cited hereon to compare the survey bearings and distances with the record calls.
3. Based on the graphic location of the available GIS data from the Federal Emergency Management Agency (FEMA) Flood Map Service Center (<https://msc.fema.gov/portal/search>) superimposed upon the subject tract, and based on the FEMA Flood Insurance Rate Map, revised 16 August 2011, Walker County #481042, Map No. 48471C0500D, Panel 0500D, this property is located within:
 - Flood Hazard Zone "X" OTHER AREAS (areas determined to be outside the 0.2% annual chance floodplain)
 - and Flood Hazard Zone "A" (areas determined to be subject to inundation by the 1% annual chance flood, with no base flood elevations determined).
 This statement does not imply that any portion of the subject tract is free of potential flood hazard; localized flooding can occur due to natural or man-made influences. This flood statement shall create no liability on the part of Namken, Inc. or the undersigned.
4. All acreage quantities shown on this survey are based upon the mathematical closure of the boundary courses and distances. Said quantities do not indicate the positional accuracy of the boundary monumentation.
5. All exterior boundary lines of this subdivision which are common with the original survey boundary are monumented on the ground with iron rods or other stable material.
6. The Owner(s) hereby certify that where physically possible all lot corners, angle points and points of curvature of the lots located within the subdivision will be monumented on the ground with 5/8" iron rods with 1-3/4" diameter blue plastic caps marked "MICHAEL A. NAMKEN RPLS 6533", UNLESS otherwise noted and with the exception that they are NOT set in the centerline of roadway nor at roadway intersections and points of curvature, as the symbols hereon may represent.
7. All driveways in the subdivision shall be constructed of concrete or asphalt at owner's expense and shall be completed within twelve (12) months from the setting of forms for the foundation of said dwelling or structure. Further, the driveway or entrance to each lot from the pavement of the street shall be paved with concrete or asphalt. Application for approval to Walker County is required prior to installation of the driveway for determination of the location, culvert sizing, installation depth, etc.
8. The Extraterritorial Jurisdiction Line (ETJ) and Certificate of Convenience and Necessity (CCN) shown on this plat was obtained from the City of Huntsville's GIS Department and is based on the 2019 City of Huntsville Annexation. Its location as shown on this plat is geo-referenced and acknowledged by the City's planning department as being an approximate boundary relating to this plat ONLY.
9. All Lot setbacks shall be in accordance with the recorded covenants, conditions, and restrictions for Texas Grand Ranch:
 - 75' Front Building Line
 - 20' Building Line along the Side and Rear lot of all lots, except as noted below
 - Block 23, Lots 94 through 104 have a 75' Front Building Line, 20' Side Building Line and a 45' Rear Building Line
10. Block 23, Lots 94 through 104 have a twenty five foot (25') Vegetative Buffer as recorded in Vol. 1345, pg. 116, WCOPR at the rear of each lot, adjoining Huntsville State Park. Within the twenty-five (25) foot Vegetative Buffer along the Texas State Parks Board Huntsville State Park (recorded in Vol. 89, Pg. 368, Walker County Deed Records), no improvements shall be made, and cutting of all natural vegetation is prohibited. See the Covenants, Conditions and Restrictions for TEXAS GRAND RANCH SECTION 13, which will be recorded of Public Record after the acceptance and recording of this plat for more details on the Vegetative Buffer.
11. All Lots shown hereon will be subject to Covenants, Conditions and Restrictions for TEXAS GRAND RANCH SECTION 13, which will be recorded of Public Record after the acceptance and recording of the Final Plat of TEXAS GRAND RANCH SECTION 13.

SANITARY SEWER SERVICE

12. Each lot will be required to utilize onsite sanitary sewer facilities (O.S.S.F.) for sanitary sewer service in accordance with state and local codes and regulations. The Lot Owner is not prohibited from connecting to a public sanitary sewer collection system if service becomes available at some time in the future.

DRAINAGE AND IMPERVIOUS COVER

13. Finished floor elevations shall be a minimum of twelve (12) inches above finished adjacent grade, with the exception of Block 21, Lots 57-65, 67-69, 71-79, 81 and Block 23, Lot 104, which have specific individual minimum finished floor elevations as shown hereon. The minimum finished floor elevations shown on this plat are 18-inches above the adjacent base flood elevation as determined by the "Base Flood Elevation Determination for Prairie Branch and Unnamed Tributary and No-impact Drainage Analysis for Bridge Crossing, Revision for Bridge Crossing, dated 3/19/2019" and the "No-impact Drainage Analysis for Bridge Crossing, Revision for dual opening, addendum for pedestrian bridge" (sealed by Bijay Aryal, P.E. #109689 on 2/19/2020) by FIF Engineering, Inc. a copy of these reports are on file at the City of Huntsville Engineering Department and Walker County Planning & Development Department.
14. The landowner is prohibited from constructing any improvements within any "Variable Width Private Drainage Easement" on this plat. Landowner may clear underbrush and establish foot trails within these "Variable Width Private Drainage Easements" but no vertical improvements or development is allowed, except for driveways, culverts, and/or drainage improvements necessary for access to the lots. Fencing is allowed along the property lines allocated within these "Variable Width Private Drainage Easements" but with provisions not to impede the flow of storm water within the "Variable Width Private Drainage Easements".
15. "Variable Width Private Drainage Easements" shall be maintained by lot owners and/or home owners association and shall not be maintained by the City of Huntsville or Walker County.
16. The natural drainage channels (whether or not they are within a dedicated "DE or VMDE") that are located within various lots and unrestricted reserve areas throughout this subdivision may not be altered in any way. Landowner may clear underbrush and establish foot trails within these natural drainage channels but no vertical improvements or development will be allowed within the bounds of these easements. Fencing is allowed along the property lines located within these natural drainage channels with provisions not to impede the flow of storm water within the drainage channels.
17. All lots and unrestricted reserve areas within the subdivision and the owners thereof must continue to accept all existing drainage flows and drainage structures in place or proposed at the time of development which are a part of or necessary to the public roads infrastructure or public system of drainage in addition to all natural flows of water entering onto or crossing the property. Local approval or consent must be given by the City of Huntsville and/or Walker County in writing prior to alteration of the drainage infrastructure herein described. It is the responsibility of the lot owners to comply with any regulations or limitations noted, and permits issued by the City of Huntsville and/or Walker County for development do not act as a waiver or variance of the lot owner's responsibility to provide for excess runoff and drainage created by the permitted development.
18. All Drainage Easements labeled as "DE" are typical right angle off of rights-of-way, locations of which are better defined within Detail View B, Detail View C and Detail View D on Sheets 5 and 6.
19. Before development of a Reserve Tract, a plat of the tract shall be submitted to the City for review and approval according to the Development Code of the City of Huntsville.
20. Based on calculations made from available data, by the undersigned engineer, the land owner may construct impervious cover (structures, driveways, sidewalks, etc.) improvements up to a "total square footage" equal to ten (10) percent of the total Lot area. If the Lot Owner desires to be exceed the area of impervious cover established for each lot as herein described, further study will be necessary and "on-site" storm water detention facilities may be required to accommodate the additional impervious cover desired. The study and possible incorporation of storm water detention facilities shall be submitted to the Walker County Engineer for approval and must comply with all current local, state and federal regulations, including the Walker County Subdivision Regulations.

PUBLIC EASEMENT NOTES

21. All public easements denoted on the plat are hereby dedicated to be used by the public forever. Any public utility, including City of Huntsville and/or Walker County, shall have the right always of ingress and egress to and from and upon these easements for construction, reconstruction, inspection, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of getting the permission of the property owner. Any public utility, including the City of Huntsville and/or County of Walker shall have the right to move and keep moved all or part of any building, fences, trees, shrubs, other growths or improvements that in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system or any of the easements shown on this plat. Neither City of Huntsville and/or Walker County nor any public utility shall be responsible for replacing or reimbursing the property owner due to removal or relocation of any obstructions in the public easements.
22. A twenty (20) foot public utility easement (PUE) and a twenty (20) foot Texas Grand Ranch Property Owners Association nature trail easement (NTE) is established adjacent to all road rights-of-way.
23. The portion of the Utility Easement in favor of the City of Huntsville recorded in inst. 45355, WCOPR, which is contained within Block 21 through 104, Block 23 is hereby superseded, redefined and abandoned by this plat and is now to be contained within the PUE of said lots.

TEXAS GRAND RANCH APPROVED VARIANCES

24. See Development Agreement between The City of Huntsville, Texas and I Texas Grand Ranch LLC, dated April 25, 2017, recorded in Vol. 1279, Pg. 1 Walker County Official Public Records (WCOPR).
25. Modification of Subdivision Standard, approved 15 August, 2019 for the lot depth of Lots 73 through Lot 76, Block 21 to exceed four (4) times the lot width per the Development Agreement between the City of Huntsville and I Texas Grand Ranch, LLC, dated April 25, 2017, recorded in Vol. 1279, pg. 1, Walker County Official Public Records.
26. Modification of Subdivision Standard, approved 15 August, 2019 for the staff length of the access to Unrestricted Reserve "A" in Block 21 to exceed the maximum allowed of 100', and to not meet the minimum required width of 50' for nonresidential lots per Table 5-2: Flag Lots of the Development Code.

THIS SHEET - NOT TO SCALE
PLAT OF TEXAS GRAND RANCH SECTION 13

CONTAINING 3 BLOCKS, 1 RESERVE AND 64 LOTS
A SUBDIVISION CONTAINING 158.53 ACRES OF LAND, BEING OUT OF THE RESIDUE OF A CALLED 3314.028 ACRE TRACT DESCRIBED IN A DEED TO I TEXAS GRAND RANCH, LLC RECORDED IN VOLUME 1271, PAGE 484, OFFICIAL PUBLIC RECORDS, WALKER COUNTY, TEXAS, J. W. INGERSOLL LEAGUE, A-27 (IN THE ETJ OF THE CITY OF HUNTSVILLE) WALKER COUNTY, TEXAS

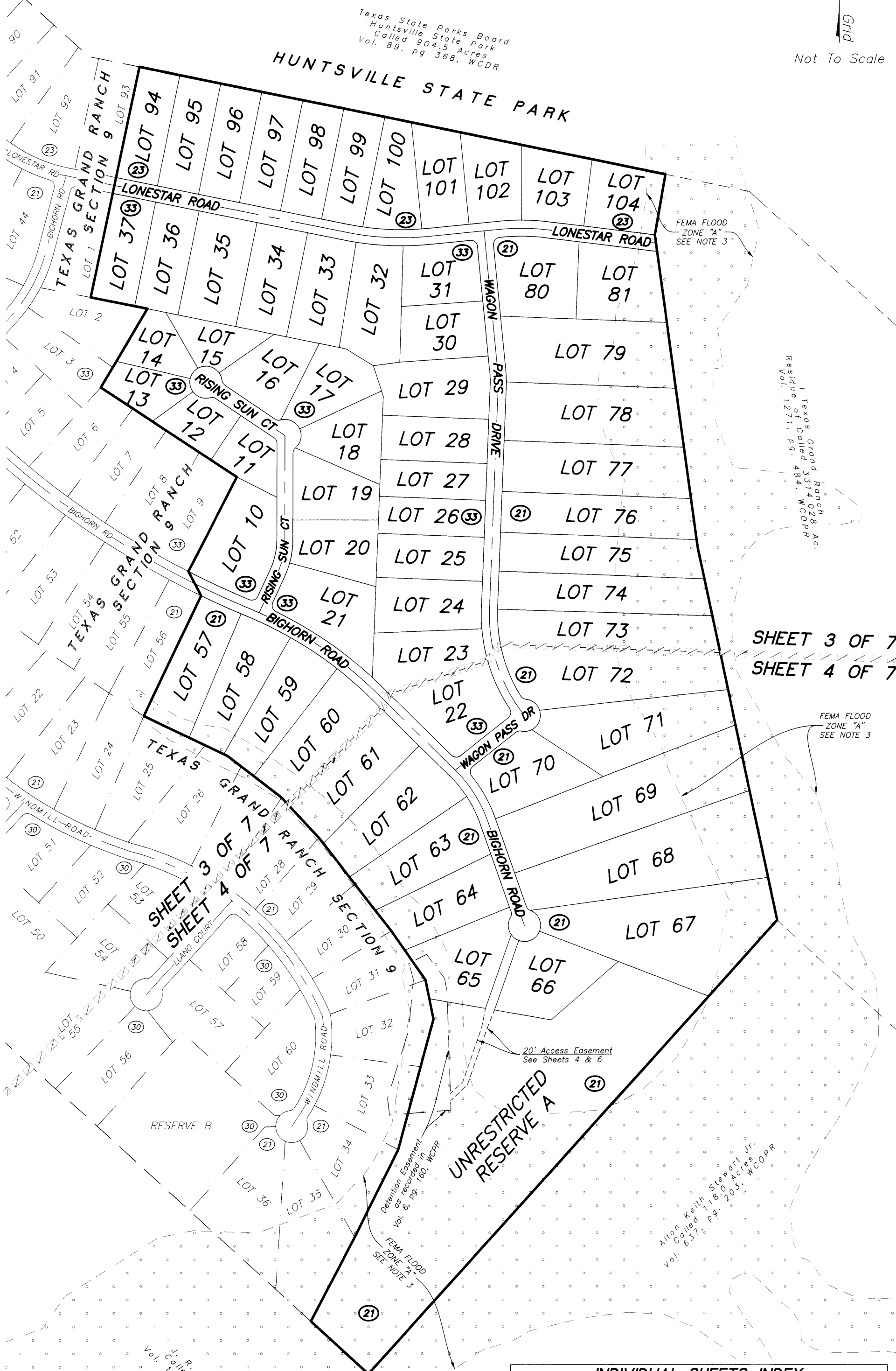
FEBRUARY 2020

NAMKEN, INC.
P. O. Box 1158, New Waverly, TX 77358
TBPELS Firm No. 10194090
936-661-3325

FOR TAX PURPOSES THIS PLAT COMPLIES WITH SECTION 12.002 OF THE PROPERTY CODE

Job No. 19-044

TEXAS GRAND RANCH SECTION 13 SHEET INDEX



INDIVIDUAL SHEETS INDEX	
1	Vicinity Map, Notes, Sheet Number Layout
2	Certifications and Dedications
3	Blocks 21, 23 and 33, Detail View "A"
4	Blocks 21 and 33
5	Detail View "B" of Blocks 21, 23 & 33, Detail View "C"
6	Detail View "D" of Blocks 21 and 33
7	Curve and Line Tables and Detention Esmt Detail View

P:\NSCI\Jobs\01\Survey\JOBS-19\19-044 TGR SECTION 13\DWGS\PLAT - S13\19-044 TGR Section 13 Plat.dwg, SHT 1, 4/2/2020 4:31:20 PM, AMM

OWNER'S ACKNOWLEDGEMENT AND DEDICATION

STATE OF TEXAS,
COUNTY OF WALKER.

I, TEXAS GRAND RANCH, LLC, owner of the land shown on this plat, and designated as the TEXAS GRAND RANCH SECTION 13 (in the ETJ of the City of Huntsville) in Walker County, Texas, and whose name is subscribed hereto, hereby dedicates to the public forever the use of all streets, parks, utility easements; and to the use of the Texas Grand Ranch Property Owners Association all public places shown hereon for the purpose and consideration therein expressed.

I, TEXAS GRAND RANCH, LLC

Renee Howes

By: RENEE HOWES, AUTHORIZED AGENT

OWNER / DEVELOPER

Texas Grand Ranch LLC,
1015A S.H. 150,
New Waverly, TX 77358
928-713-1841

Renee Howes,
Authorized Agent
P.O. Box 261,
Skull Valley, AZ 86338
rhowesconsulting@gmail.com

NOTARY PUBLIC ACKNOWLEDGEMENT

STATE OF TEXAS,
COUNTY OF WALKER.

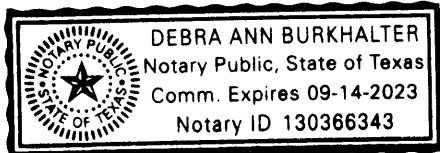
This Instrument was acknowledged before me

Dated this 3 day of April, 20 20

by RENEE HOWES.

Debra Ann Burkhalter

Notary Public for State of Texas



CERTIFICATION BY THE CITY ENGINEER

STATE OF TEXAS,
COUNTY OF WALKER.

I, the undersigned, City Engineer of Huntsville, Texas, hereby certify that proper engineering consideration has been given to this plat regarding the design and construction of public improvements and related easements and rights-of-way.

Dated this 7th day of April, 20 20

Y. S. [Signature]

City of Huntsville City Engineer

CERTIFICATION BY THE CITY PLANNING OFFICER

I, the undersigned, Planning Officer of the City of Huntsville, Texas, certify that the plat confirms to the City Comprehensive Plan, and all applicable design criteria and standards of the City of Huntsville, Texas.

Dated this 6th day of April, 20 20

Janet Ridley

City of Huntsville Planning Officer

CERTIFICATION BY THE COUNTY CLERK

STATE OF TEXAS,
COUNTY OF WALKER.

I, Kari A. French, County Clerk in and for Walker County, do hereby certify that this plat with its certificates of authentication was filed for record in my office

the 8th day of April, 20 20, in the Plat Records of

Walker County in Volume 7, Page 13

By: *Kari A. French*, *Louie Riley*
Kari A. French, County Clerk
Walker County, Texas

CERTIFICATION BY THE ENGINEER

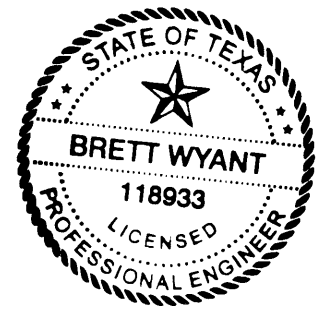
STATE OF TEXAS,
COUNTY OF WALKER.

I, Brett Wyant, Registered Professional Engineer No. 118933 in the State of Texas, hereby certify that proper engineering consideration has been given to this plat regarding design, construction and layout of public improvements.

[Signature]

Brett Wyant
Registered Professional Engineer
Texas Registration No. 118933

Spear Point Engineering, LLC
TBPELS Firm No. 18904
204 W. Montgomery St.
Willis, TX 77378



CERTIFICATION BY THE SURVEYOR

I, Michael A. Namken, certify that this plat represents a survey made on the ground under my supervision and that all corners and monuments are as shown hereon.

Michael A. Namken 4-2-2020

Michael A. Namken
Registered Professional Land Surveyor No. 6533



APPROVAL OF THE PLANNING COMMISSION

This plat has been submitted to and considered by the Planning Commission of the City of Huntsville, Texas, with respect to the platting of the land and is hereby approved by the Commission.

Dated this 6th day of April, 20 20

[Signature]

Chairman

PLAT OF
TEXAS GRAND RANCH
SECTION 13

CONTAINING 3 BLOCKS, 1 RESERVE AND 64 LOTS

A SUBDIVISION CONTAINING 158.53 ACRES OF LAND,
BEING OUT OF THE RESIDUE OF A CALLED 3314.028 ACRE TRACT
DESCRIBED IN A DEED TO I TEXAS GRAND RANCH, LLC
RECORDED IN VOLUME 1271, PAGE 484, OFFICIAL
PUBLIC RECORDS, WALKER COUNTY, TEXAS,
J. W. INGERSOLL LEAGUE, A-27
(IN THE ETJ OF THE CITY OF HUNTSVILLE)
WALKER COUNTY, TEXAS

FEBRUARY 2020

NAMKEN, INC.
P. O. Box 1158, New Waverly, TX 77358
TBPELS Firm No. 10194090
936-661-3325

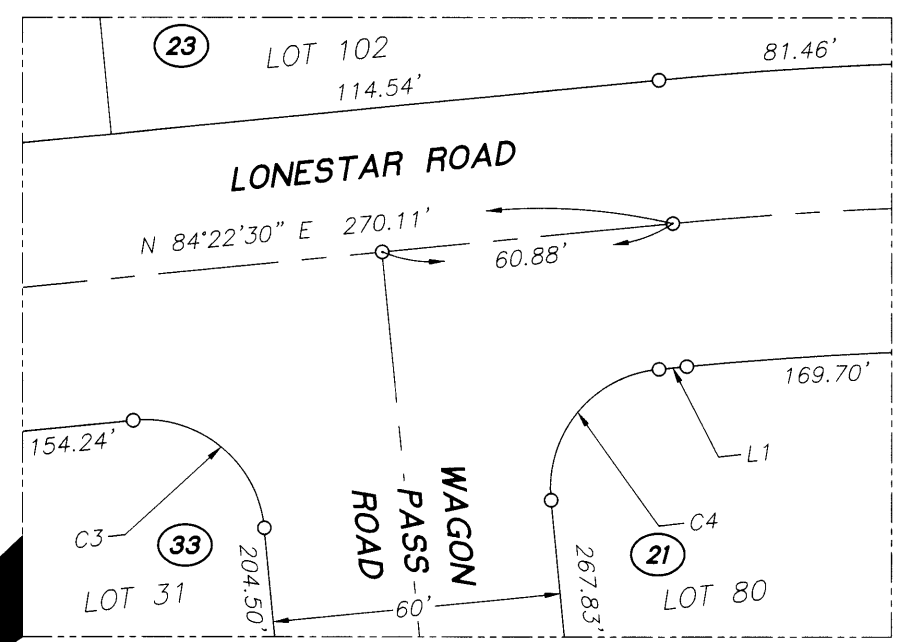
Job No. 19-044

FOR TAX PURPOSES
THIS PLAT COMPLETES
WITH SECTION 12.002
OF THE PROPERTY
CODE

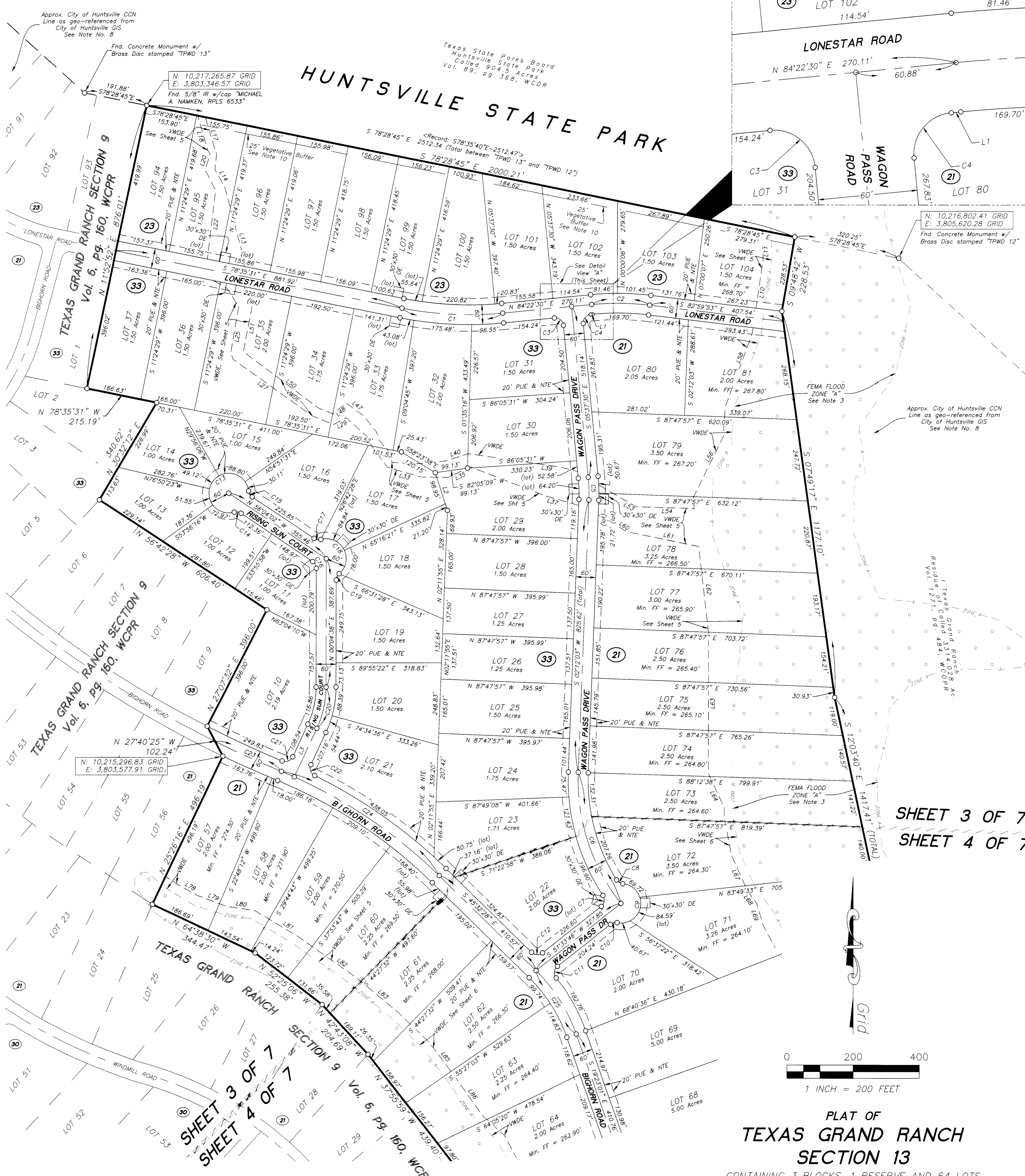
INDIVIDUAL SHEETS INDEX

1	Vicinity Map, Notes, Sheet Number Layout
2	Certifications and Dedications
3	Blocks 21, 23 and 33, Detail View "A"
4	Blocks 21 and 33
5	Detail View "B" of Blocks 21, 23 & 33, Detail View "C"
6	Detail View "D" of Blocks 21 and 33
7	Curve and Line Tables and Detention Esmt Detail View

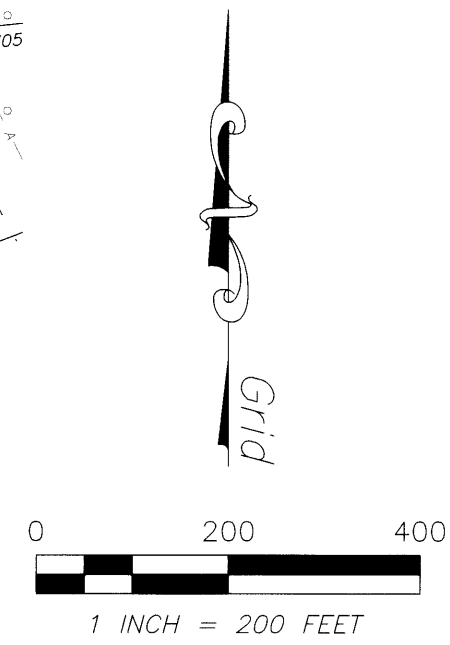
DETAIL VIEW 'A'
(NOT TO SCALE)



HUNTSVILLE STATE PARK



SHEET 3 OF 7
SHEET 4 OF 7



PLAT OF TEXAS GRAND RANCH SECTION 13

CONTAINING 3 BLOCKS, 1 RESERVE AND 64 LOTS

A SUBDIVISION CONTAINING 158.53 ACRES OF LAND,
BEING OUT OF THE RESIDUE OF A CALLED 3314.028 ACRE TRACT
DESCRIBED IN A DEED TO I TEXAS GRAND RANCH, LLC
RECORDED IN VOLUME 1271, PAGE 484, OFFICIAL
PUBLIC RECORDS, WALKER COUNTY, TEXAS,
J. W. INGERSOLL LEAGUE, A-27
(IN THE ETJ OF THE CITY OF HUNTSVILLE)
WALKER COUNTY, TEXAS

FEBRUARY 2020

NAMKEN, INC.
P. O. Box 1158, New Waverly, TX 77358
TBPELS Firm No. 10194090
936-661-3325

Job No. 19-044

SHEET 3 OF 7

- LEGEND**
- DE Drainage Easement
 - CCN Certificate of Convenience and Necessity
 - ETJ Extraterritorial Jurisdiction Line
 - Min. FF Minimum Finished Floor Elevation
 - NTE Nature Trail Easement
 - PUE Public Utility Easement
 - WLE Waterline Easement
 - WCDC Walker County Deed Records
 - WCOPR Walker County Official Public Records
 - WCPR Walker County Plat Records
 - VWDE Variable Width Private Drainage Easement
 - Set 5/8" Iron Rod w/cap marked "MICHAEL A. NAMKEN RPLS 6533", UNLESS otherwise noted
 - Block Number

FOR TAX PURPOSES
THIS PLAT COMPLETES
WITH SECTION 12.002
OF THE PROPERTY
CODE

INDIVIDUAL SHEETS INDEX	
1	Vicinity Map, Notes, Sheet Number Layout
2	Certifications and Dedications
3	Blocks 21, 23 and 33, Detail View 'A'
4	Blocks 21 and 33
5	Detail View 'B' of Blocks 21, 23 & 33, Detail View 'C'
6	Detail View 'D' of Blocks 21 and 33
7	Curve and Line Tables and Detention Esmt Detail View

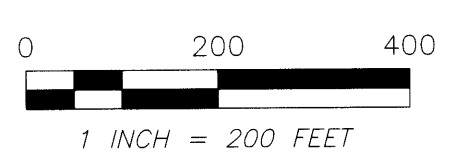
P:\NSCI\Jobs\01 Survey\VOBS-1919-044 TGR SECTION 13\DWGS\PLAT - S1319-044 TGR Section 13 Plat.dwg, SHT 3, 4/2/2020 4:31:39 PM, AMM

SHEET 3 OF 7
SHEET 4 OF 7

1 Texas Grand Ranch
Residue of Called 3314.028 Acre
Vol. 1271, pg. 484, WCOPR

30' Pipeline Easement
Santa Rosa Road Operating, LLC
Vol. 1245, pg. 300, WCOPR

N: 10,214,088.91 GRID
E: 3,805,723.90 GRID
Fnd. Fence Corner



**PLAT OF
TEXAS GRAND RANCH
SECTION 13**

CONTAINING 3 BLOCKS, 1 RESERVE AND 64 LOTS

A SUBDIVISION CONTAINING 158.53 ACRES OF LAND,
BEING OUT OF THE RESIDUE OF A CALLED 3314.028 ACRE TRACT
DESCRIBED IN A DEED TO I TEXAS GRAND RANCH, LLC
RECORDED IN VOLUME 1271, PAGE 484, OFFICIAL
PUBLIC RECORDS, WALKER COUNTY, TEXAS,
J. W. INGERSOLL LEAGUE, A-27
(IN THE ETJ OF THE CITY OF HUNTSVILLE)
WALKER COUNTY, TEXAS

FEBRUARY 2020

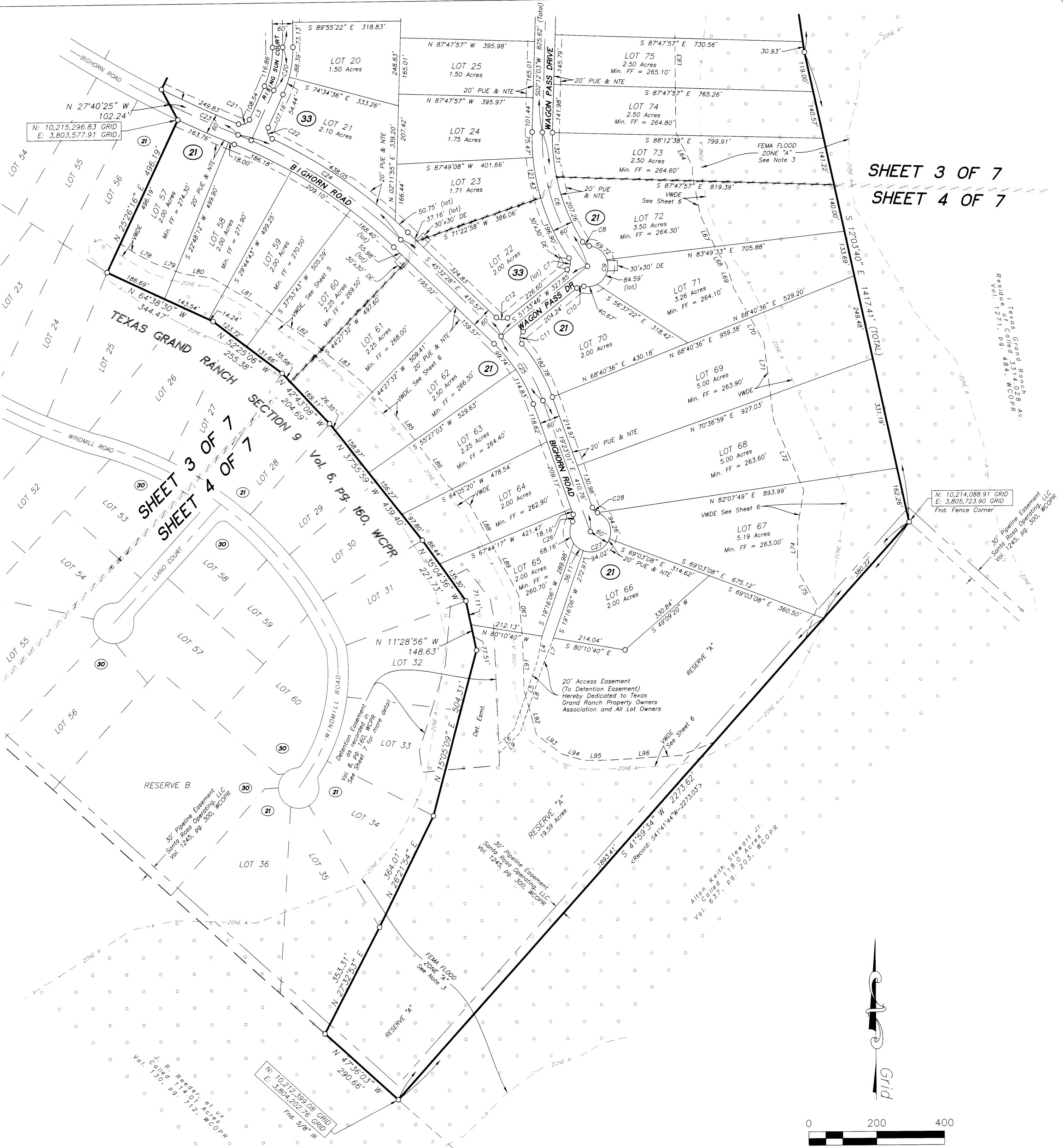
NAMKEN, INC.
P. O. Box 1158, New Waverly, TX 77358
TBPELS Firm No. 10194090
936-661-3325

Job No. 19-044

SHEET 4 OF 7

FOR THE PURPOSES OF
THIS PLAT COMPLYING
WITH SECTION 12.002
OF THE PROPERTY
CODE

INDIVIDUAL SHEETS INDEX	
1	Vicinity Map, Notes, Sheet Number Layout
2	Certifications and Dedications
3	Blocks 21, 23 and 33, Detail View "A"
4	Blocks 21 and 33
5	Detail View "B" of Blocks 21, 23 & 33, Detail View "C"
6	Detail View "D" of Blocks 21 and 33
7	Curve and Line Tables and Detention Esmt Detail View

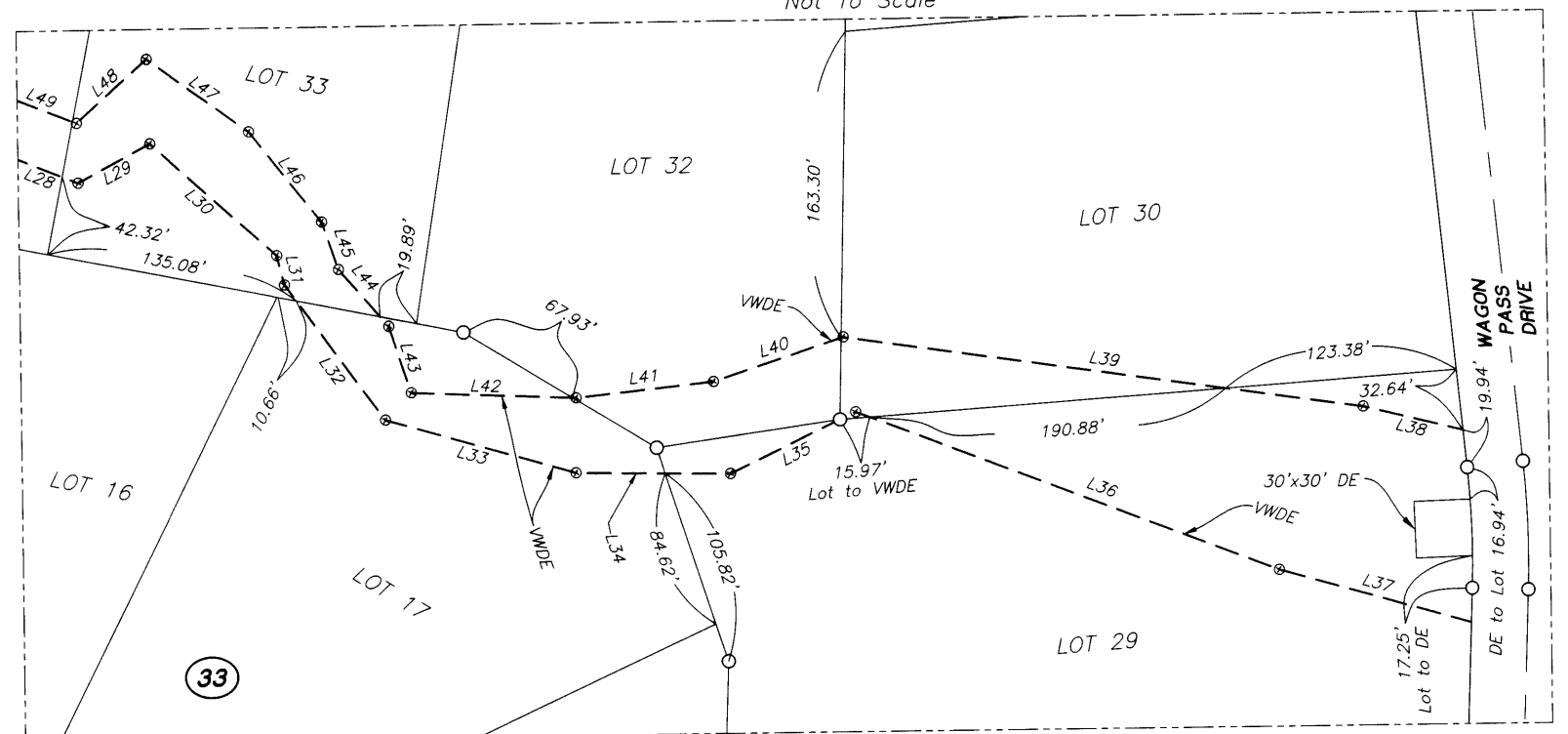


- LEGEND**
- DE Drainage Easement
 - CCN Certificate of Convenience and Necessity
 - ETJ Extraterritorial Jurisdiction Line
 - Min. FF Minimum Finished Floor Elevation
 - NTE Nature Trail Easement
 - PUE Public Utility Easement
 - WLE Waterline Easement
 - WCDR Walker County Deed Records
 - WCOPR Walker County Official Public Records
 - WCPR Walker County Plat Records
 - VWDE Variable Width Private Drainage Easement
 - Set 5/8" Iron Rod w/cap marked "MICHAEL A.
 - NAMKEN RPLS 6533", UNLESS otherwise noted
 - Block Number

P:\NSCI\Jobs\01 Survey\1919-044 TGR SECTION 13\DWG\PLAT - S13\19-044 TGR section 13 Plat.dwg, SHT 4, 4/27/2020 4:31:45 PM, AMM

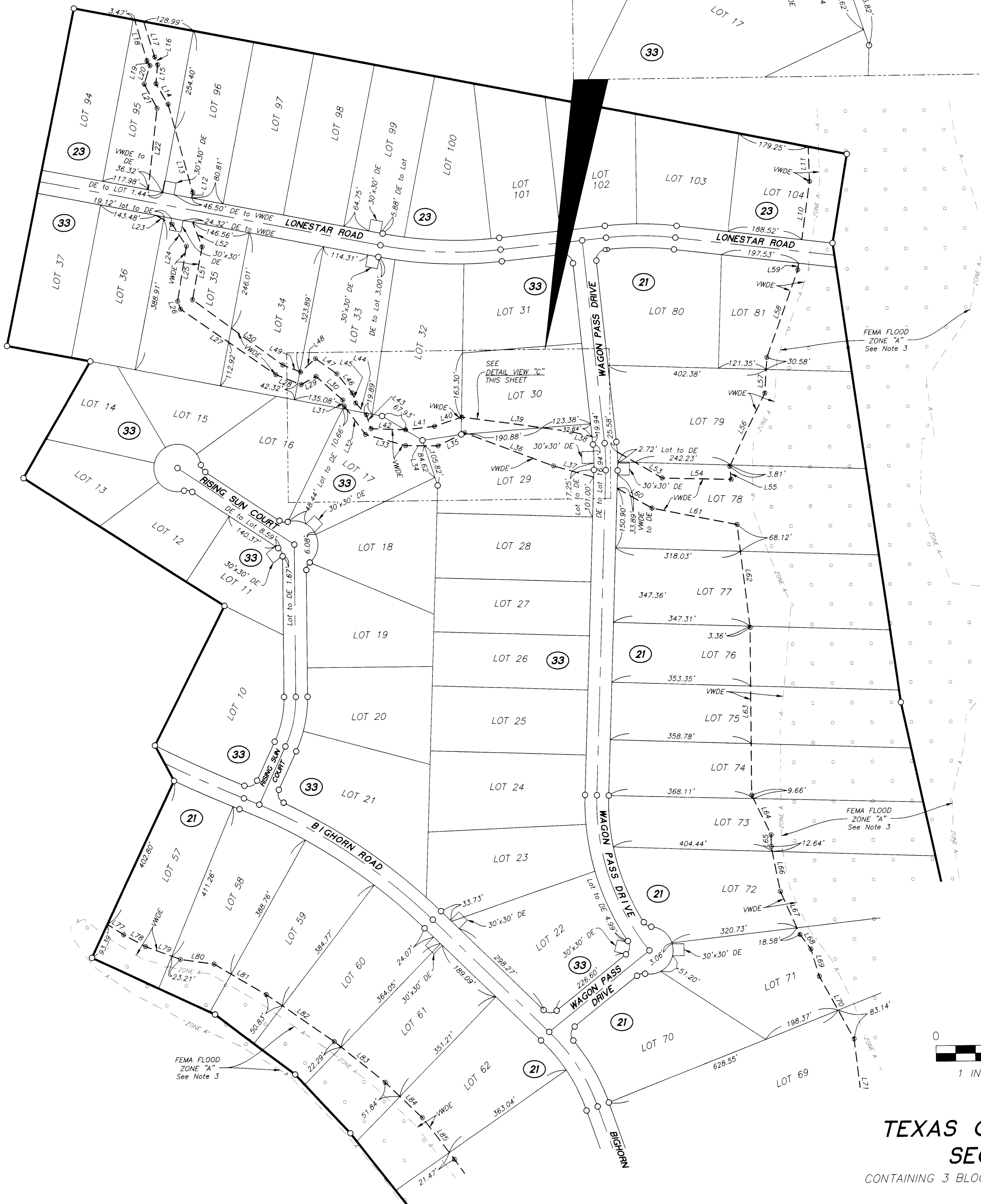
DETAIL VIEW "C"

Not To Scale



DETAIL VIEW "B"

From Sheet 3 of 7



LEGEND

- DE Drainage Easement
- CCN Certificate of Convenience and Necessity
- ETJ Extraterritorial Jurisdiction Line
- Min. FF Minimum Finished Floor Elevation
- NTE Nature Trail Easement
- PUE Public Utility Easement
- WLE Waterline Easement
- WCDR Walker County Deed Records
- WCOPR Walker County Official Public Records
- WCPR Walker County Plat Records
- VWDE Variable Width Private Drainage Easement
- Set 5/8" Iron Rod w/cap marked "MICHAEL A."
- NAMKEN RPLS 6533", UNLESS otherwise noted
- Block Number

**FOR TAX PURPOSES
THIS PLAT COMPLIES
WITH SECTION 12.002
OF THE PROPERTY
CODE**

INDIVIDUAL SHEETS INDEX	
1	Vicinity Map, Notes, Sheet Number Layout
2	Certifications and Dedications
3	Blocks 21, 23 and 33, Detail View "A"
4	Blocks 21 and 33
5	Detail View "B" of Blocks 21, 23 and 33, Detail View "C"
6	Detail View "D" of Blocks 21 and 33
7	Curve and Line Tables and Detention Esmt Detail View

**PLAT OF
TEXAS GRAND RANCH
SECTION 13**

CONTAINING 3 BLOCKS, 1 RESERVE AND 64 LOTS

A SUBDIVISION CONTAINING 158.53 ACRES OF LAND,
BEING OUT OF THE RESIDUE OF A CALLED 3314.028 ACRE TRACT
DESCRIBED IN A DEED TO I TEXAS GRAND RANCH, LLC
RECORDED IN VOLUME 1271, PAGE 484, OFFICIAL
PUBLIC RECORDS, WALKER COUNTY, TEXAS,
J. W. INGERSOLL LEAGUE, A-27
(IN THE ETJ OF THE CITY OF HUNTSVILLE)
WALKER COUNTY, TEXAS

FEBRUARY 2020

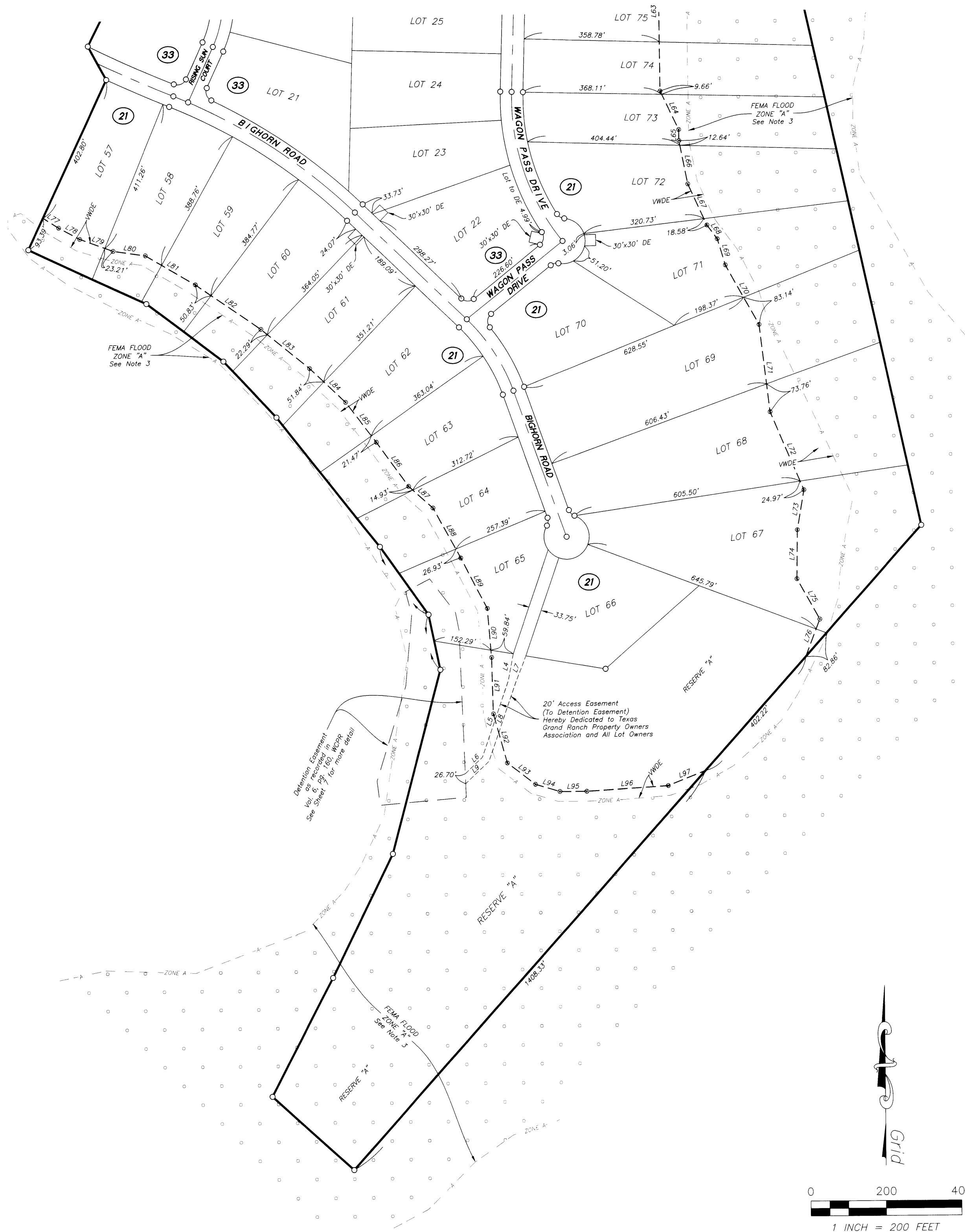
NAMKEN, INC.
P. O. Box 1158, New Waverly, TX 77358
TBPELS Firm No. 10194090
936-661-3325

Job No. 19-044

P:\NSCI\Jobs\01 Survey\1919-044 TGR SECTION 13\DWG\PLAT - S1319-044 TGR Section 13 Plat.dwg - SHT 5 - 4/2/2020 4:31:50 PM - AMM

DETAIL VIEW "D"

From Sheet 3 of 7



LEGEND

- DE Drainage Easement
- CCN Certificate of Convenience and Necessity
- ETJ Extraterritorial Jurisdiction Line
- Min. FF Minimum Finished Floor Elevation
- NTE Nature Trail Easement
- PUE Public Utility Easement
- WLE Waterline Easement
- WCDR Walker County Deed Records
- WCOPR Walker County Official Public Records
- WPCR Walker County Plat Records
- VWDE Variable Width Private Drainage Easement
- Set 5/8" Iron Rod w/cap marked "MICHAEL A."
- NAMKEN RPLS 6533", UNLESS otherwise noted
- Block Number

**FOR TAX PURPOSES
THIS PLAT COMPLIES
WITH SECTION 12.002
OF THE PROPERTY
CODE**

INDIVIDUAL SHEETS INDEX	
1	Vicinity Map, Notes, Sheet Number Layout
2	Certifications and Dedications
3	Blocks 21, 23 and 33, Detail View "A"
4	Blocks 21 and 33
5	Detail View "B" of Blocks 21, 23 & 33, Detail View "C"
6	Detail View "D" of Blocks 21 and 33
7	Curve and Line Tables and Detention Esmt Detail View

PLAT OF TEXAS GRAND RANCH SECTION 13

CONTAINING 3 BLOCKS, 1 RESERVE AND 64 LOTS

A SUBDIVISION CONTAINING 158.53 ACRES OF LAND,
BEING OUT OF THE RESIDUE OF A CALLED 3314.028 ACRE TRACT
DESCRIBED IN A DEED TO I TEXAS GRAND RANCH, LLC
RECORDED IN VOLUME 1271, PAGE 484, OFFICIAL
PUBLIC RECORDS, WALKER COUNTY, TEXAS,
J. W. INGERSOLL LEAGUE, A-27
(IN THE ETJ OF THE CITY OF HUNTSVILLE)
WALKER COUNTY, TEXAS

FEBRUARY 2020

NAMKEN, INC.
P. O. Box 1158, New Waverly, TX 77358
TBPELS Firm No. 10194090
936-661-3325

Job No. 19-044

